

GROUND FLOOR ELEVATION - UDC 3.9.2J
 Raised ground floors shall be required if raised ground floors are part of the dominant character of all properties fronting on the same block face. Any project that requires a raised ground floor must have a foundation height of at least 18 inches measured from top of grade to the first finished floor. (See UDC Sub-Section 3.2.6A, Building Height, to determine foundation height.)
 In the event of a demonstrated disability hardship, the Zoning Administrator may approve an alternative zero-step entry design.



SCALE: 1/4" = 1'-0"

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Designed For: **Inkan Builders**
 Location: **864 N. Third Street**
 Plan: **510-166501-A**

FOUNDATION PLAN

Pg. 1 OF 1

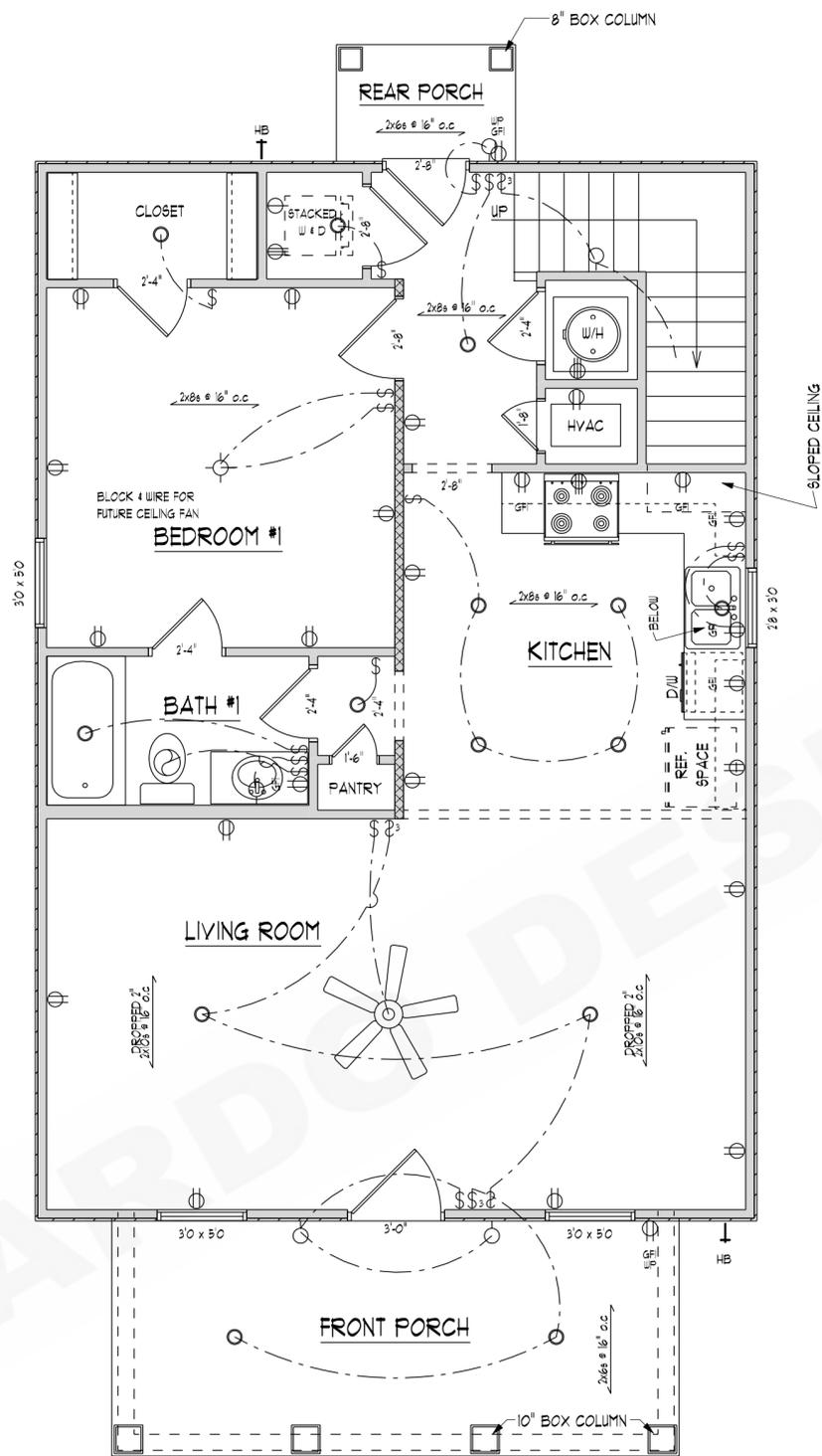
TMB - 10/2024

GARDO DESIGN GROUP, LLC DOES NOT PRACTICE STRUCTURAL ENGINEERING. THEREFORE ALL BEAMS, CONNECTIONS, SOIL BEARING LOCATIONS, AND ALL OTHER STRUCTURAL ITEMS ARE TO BE REVIEWED AND DESIGNED BY A LICENSED STRUCTURAL ENGINEER. THEN ACCORDINGLY, GARDO DESIGN GROUP, LLC ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF THE BUILDING. HOWEVER, ANY DESIGN ELEMENT THAT MAY NEED TO BE ALTERED DUE TO STRUCTURAL TIES MUST BE APPROVED BY THE OWNER AND/OR GARDO DESIGN GROUP, LLC.



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NOTE:

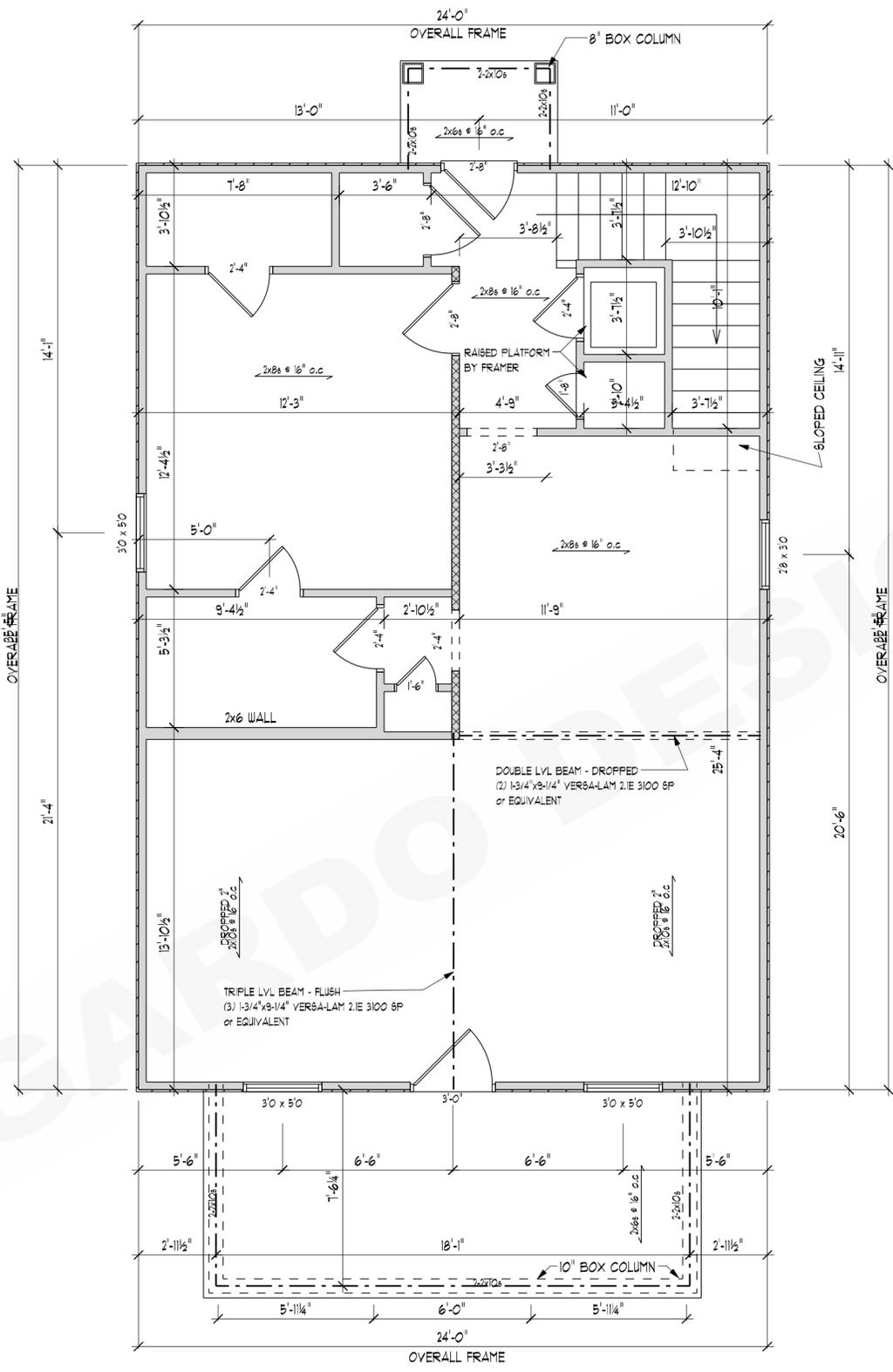
- HOUSE SHALL BE CONSTRUCTED IN COMPLIANCE WITH 2021 IRC AND LOCAL AMENDMENTS.
- CEILING HEIGHTS DOWN ARE 9' UNLESS NOTED OTHERWISE.
- FURR OUR 2x6 RAFTERS IN VAULTED AREAS TO ALLOW FOR INSULATION.
- ALL DIMENSIONS ARE ROUGH FRAME.
- WINDOW HEADERS SHALL BE AT STANDARD HEIGHT UNLESS OTHERWISE NOTED.
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE LOCATED AND INSTALLED PER 2021 IRC SECTIONS R314 AND R315.
- PROVIDE SEISMIC BRACING FOR WATER HEATERS AND FURNACES PER 2021 IRC SECTION R301.2.2.10.
- GLAZING ADJACENT TO STAIRS AND STAIR LANDINGS SHALL BE TEMPERED GLASS.

WALLS SHOWN WITH CROSS HATCH PATTERN ARE INTERIOR STRUCTURAL WALLS AND THEIR CONSTRUCTION MUST FOLLOW THE SHELBY COUNTY ALTERNATE COMPLIANCE METHOD -- SEE R301.2.2.3.8.2 AND R301.1.2.2.3.8.4.2

SQUARE FOOTAGE
 860 HEATED DOWN
 805 HEATED UP
 1665 TOTAL HEATED

150 FRONT PORCH
 24 REAR PORCH
 174 TOTAL UNHEATED





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1st
**FLOOR
 FRAMER**

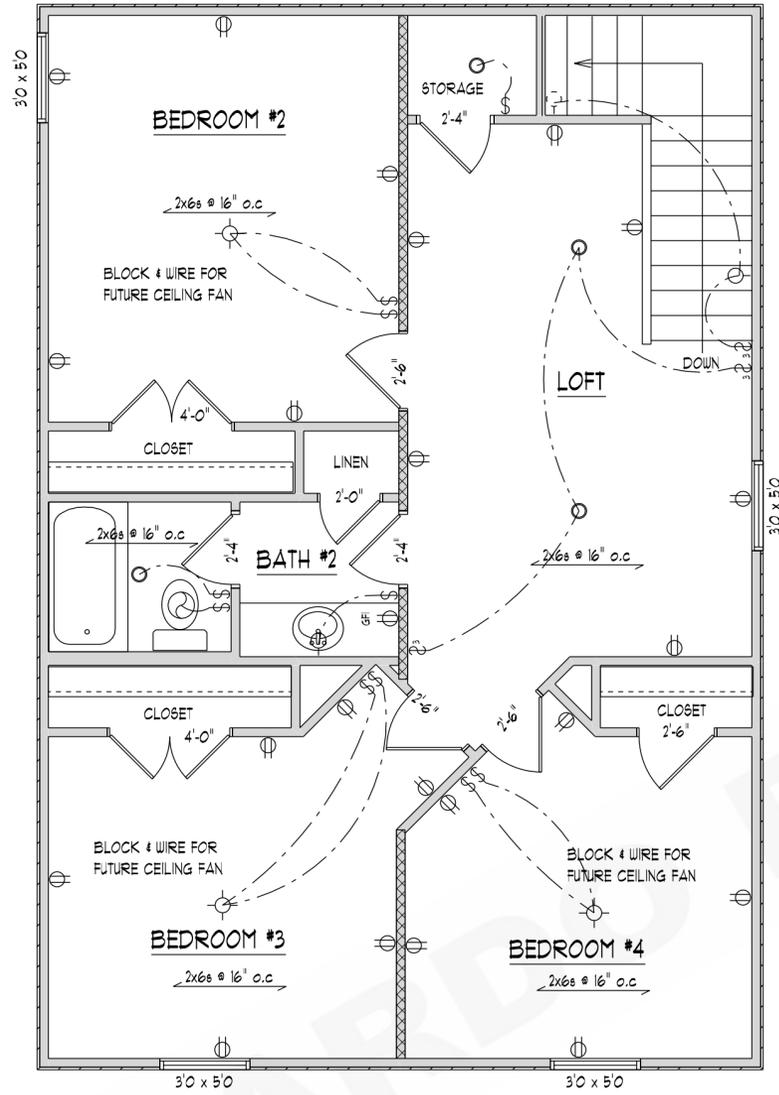
Fig. 3 OF 1

GARDO DESIGN GROUP, LLC DOES NOT PRACTICE STRUCTURAL ENGINEERING. THEREFORE ALL BEAMS, CONNECTIONS, LOAD BEARING LOCATIONS, AND ALL OTHER STRUCTURAL ITEMS ARE TO BE REVIEWED AND DESIGNED BY A LICENSED STRUCTURAL ENGINEER. THEN ACCORDINGLY, GARDO DESIGN GROUP, LLC ASSUMES NO RESPONSIBILITY FOR THE STRUCTURAL INTEGRITY OF THE BUILDING. HOWEVER, ANY DESIGN ELEMENTS THAT MAY NEED TO BE ALTERED DUE TO STRUCTURAL ITEMS, MUST BE APPROVED BY THE OWNER AND/OR GARDO DESIGN GROUP, LLC.



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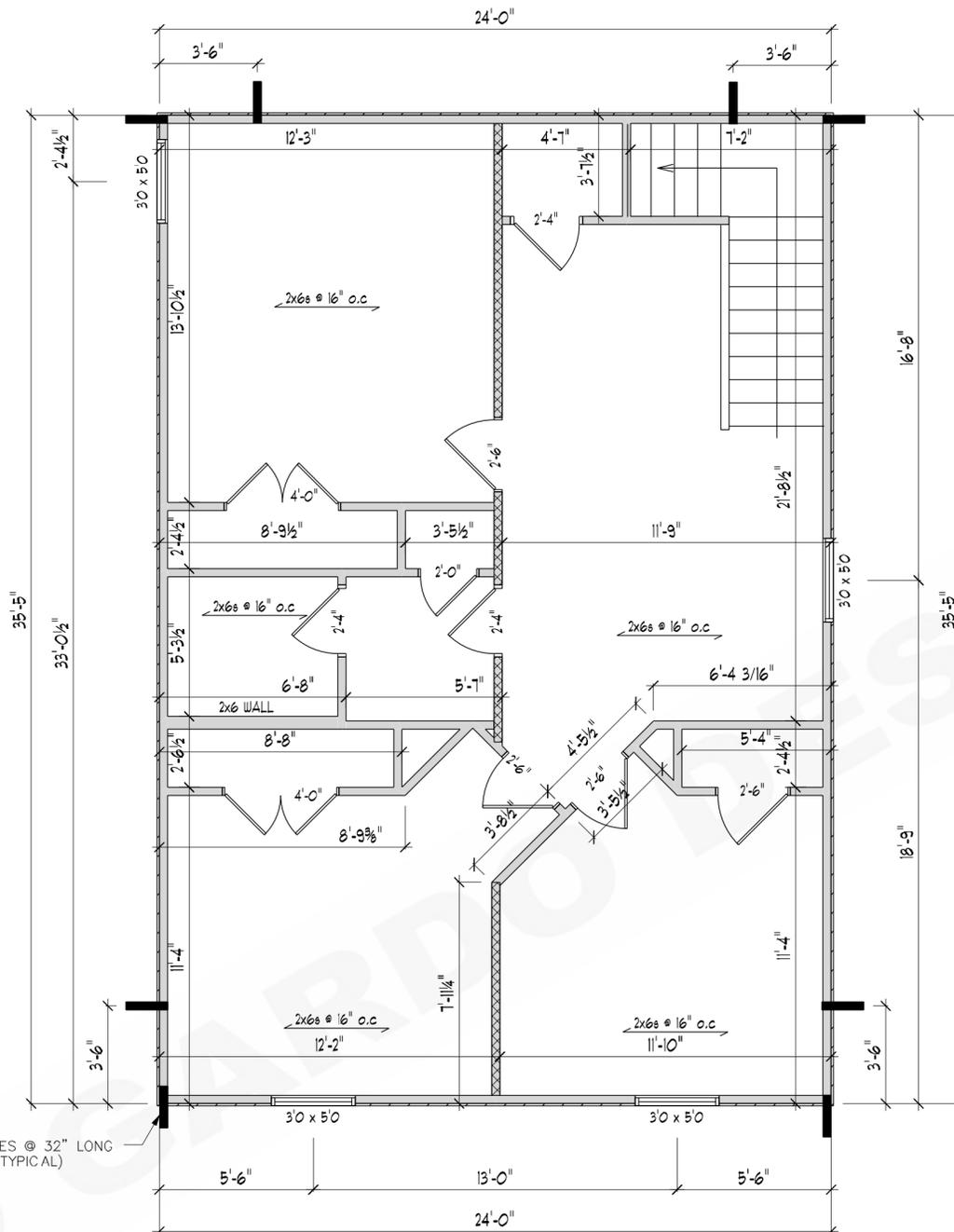
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- FURR OUR 2x6 RAFTERS IN VAULTED AREAS TO ALLOW FOR INSULATION.
- ALL DIMENSIONS ARE ROUGH FRAME.
- WINDOW HEADERS DOWNSTAIRS @ 1" UNLESS OTHERWISE NOTED.
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED.
- PROVIDE SEISMIC BRACING FOR WATER HEATERS AND FURNACES.
- GLAZING ADJACENT TO STAIRS AND STAIR LANDINGS SHALL BE TEMPERED GLASS.
- HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 SQUARE FEET. ANY PORTION OF THE ROOM WITH KNEE WALLS LESS THAN 5'-0" MUST NOT BE INCLUDED IN THE CALCULATION.

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SCALE: 1/4" = 1'-0"

CS18 - 2 PIECES @ 32" LONG
w/ 10d NAILS (TYPICAL)



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2nd
FLOOR
FRAMER

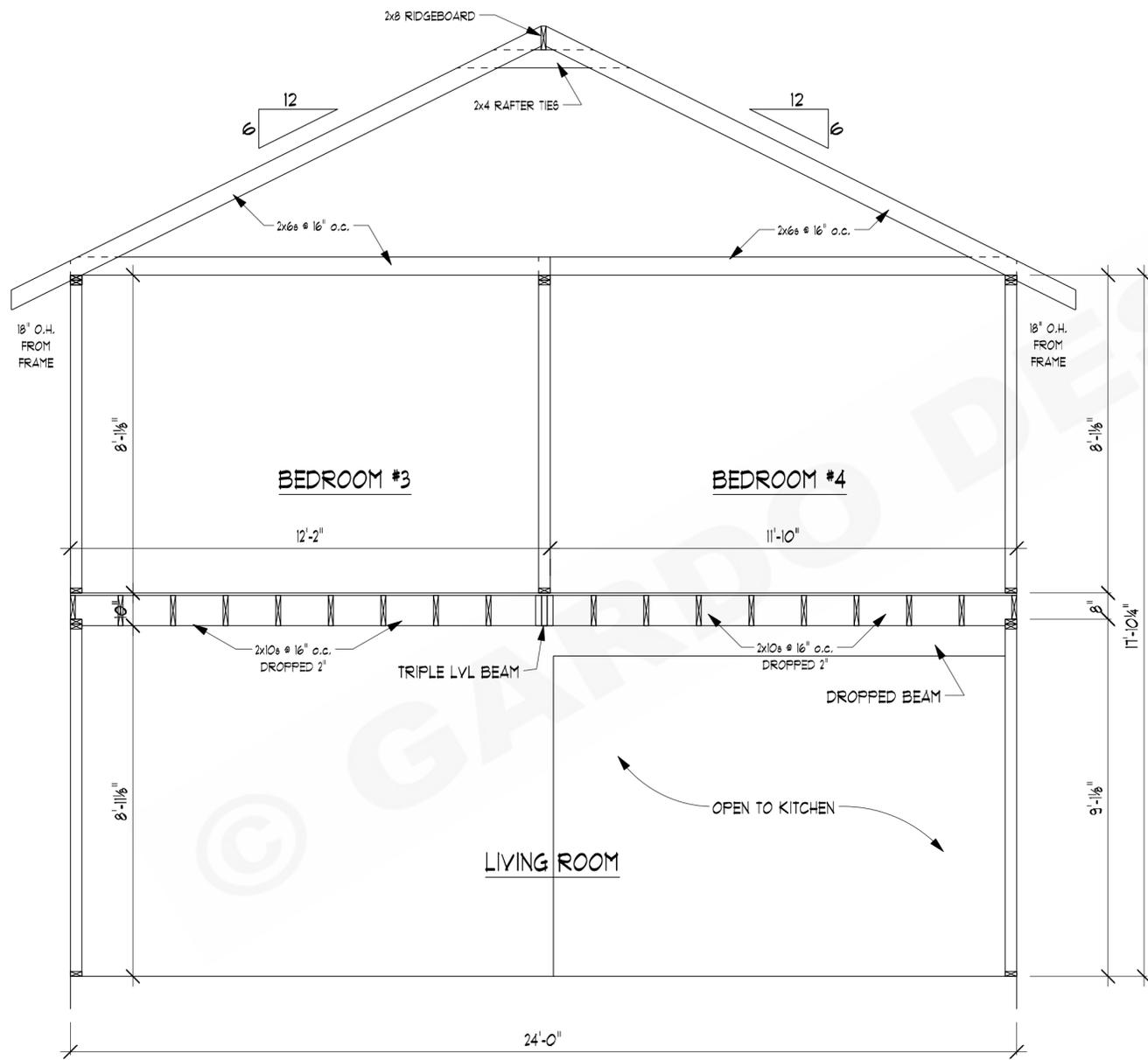
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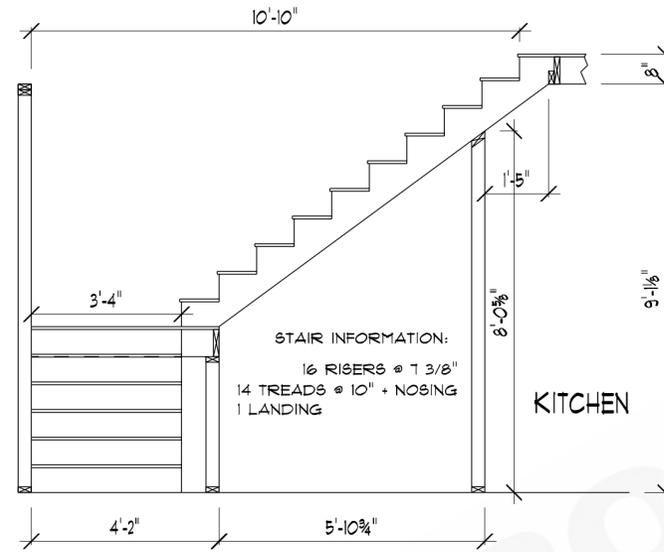


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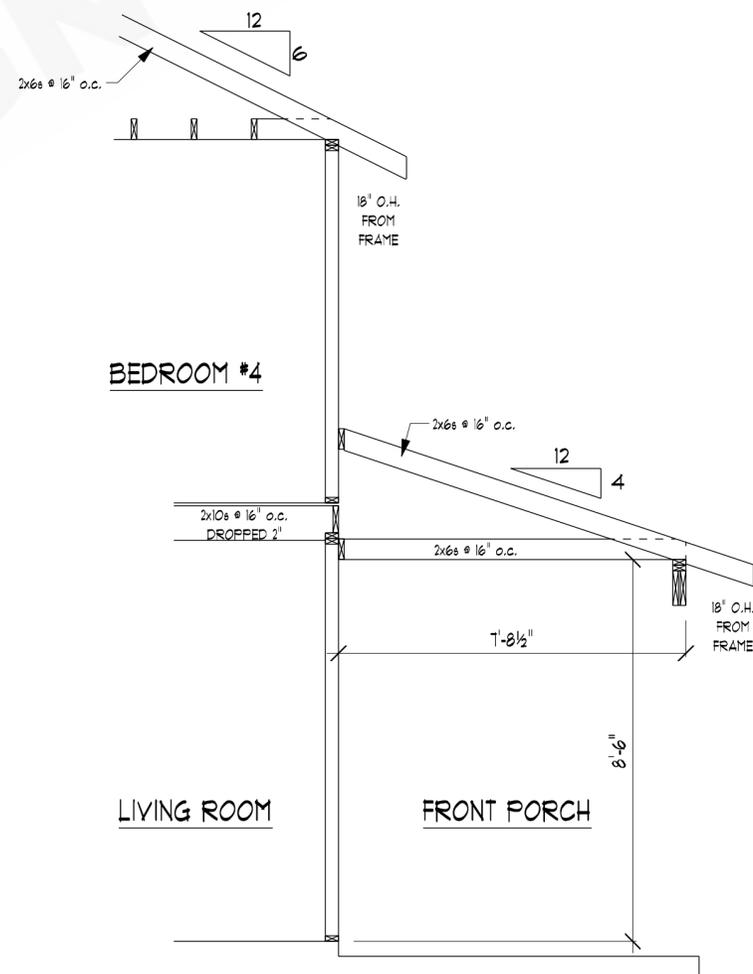




CROSS SECTION



STAIR DETAIL



PORCH DETAIL



SCALE: 3/8" = 1'-0"

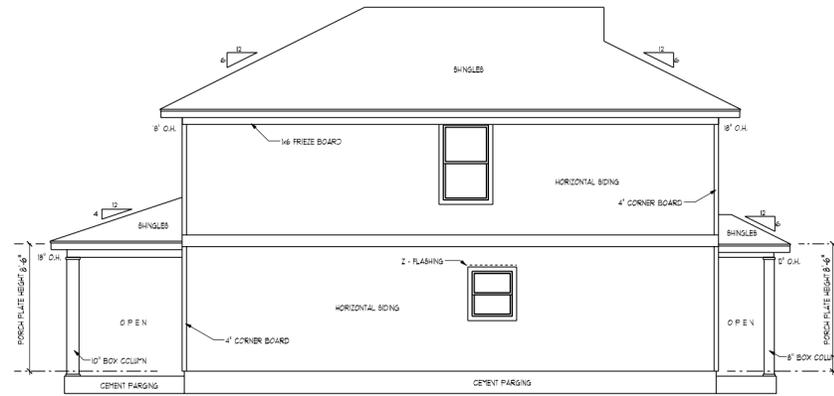
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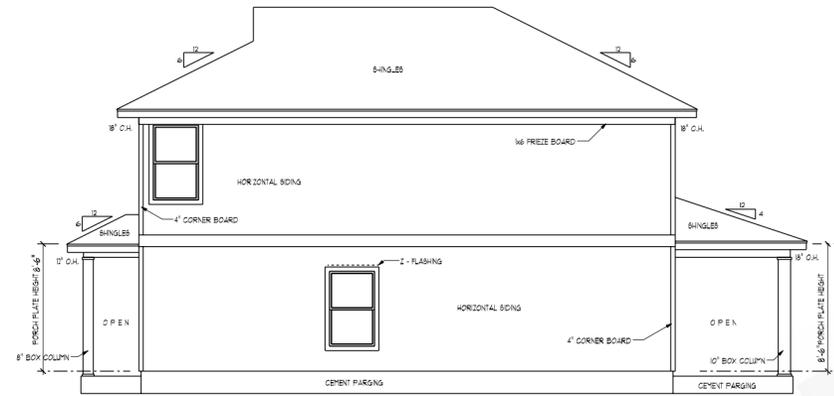
SECTION
1

Pg. 6 OF 7



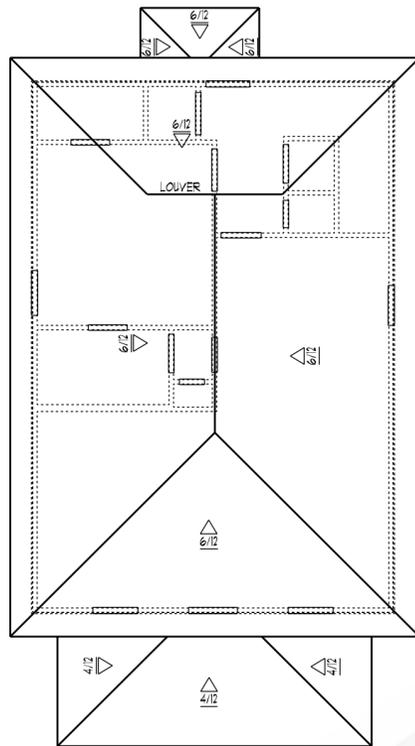
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



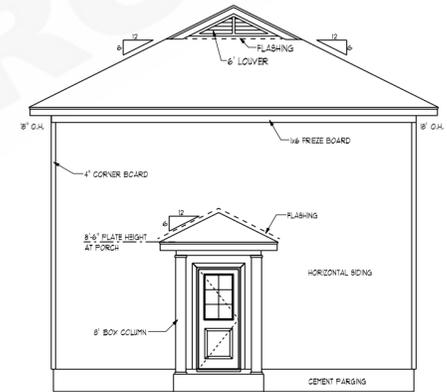
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



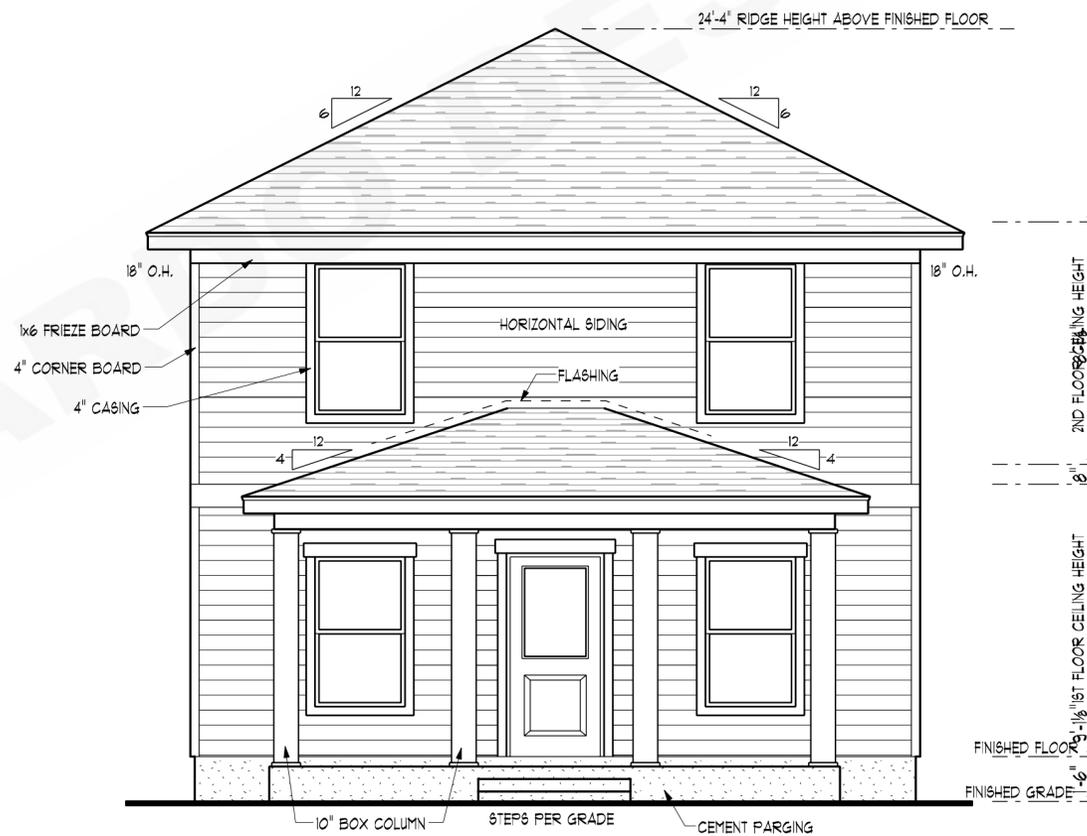
ROOF PLAN

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"



A I B D

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DESIGN GROUP

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ELEVATIONS

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